



Design Guidelines for Estate Home Sites

August 21, 2014

Purpose:

The following Design Guidelines are for use by the Town of Amenia Code Enforcement Officer (CEO) to determine if the proposed construction, on an Estate Homes Site, of a home exceeding 5,000 square feet in floor area requires additional, independent site plan review and approval by the Planning Board.

Timing:

Upon receipt and review of the Estate Home Site owner's building permit application the CEO shall determine if the Design Guidelines have been satisfied.

Determination:

If any of the Design Guidelines has not been met, the CEO may make a determination that the Estate Home Site owner is required to obtain additional, independent site plan approval from the Planning Board, beyond the site plan approval received by Silo Ridge Resort Community for the overall community.

Design Guidelines:

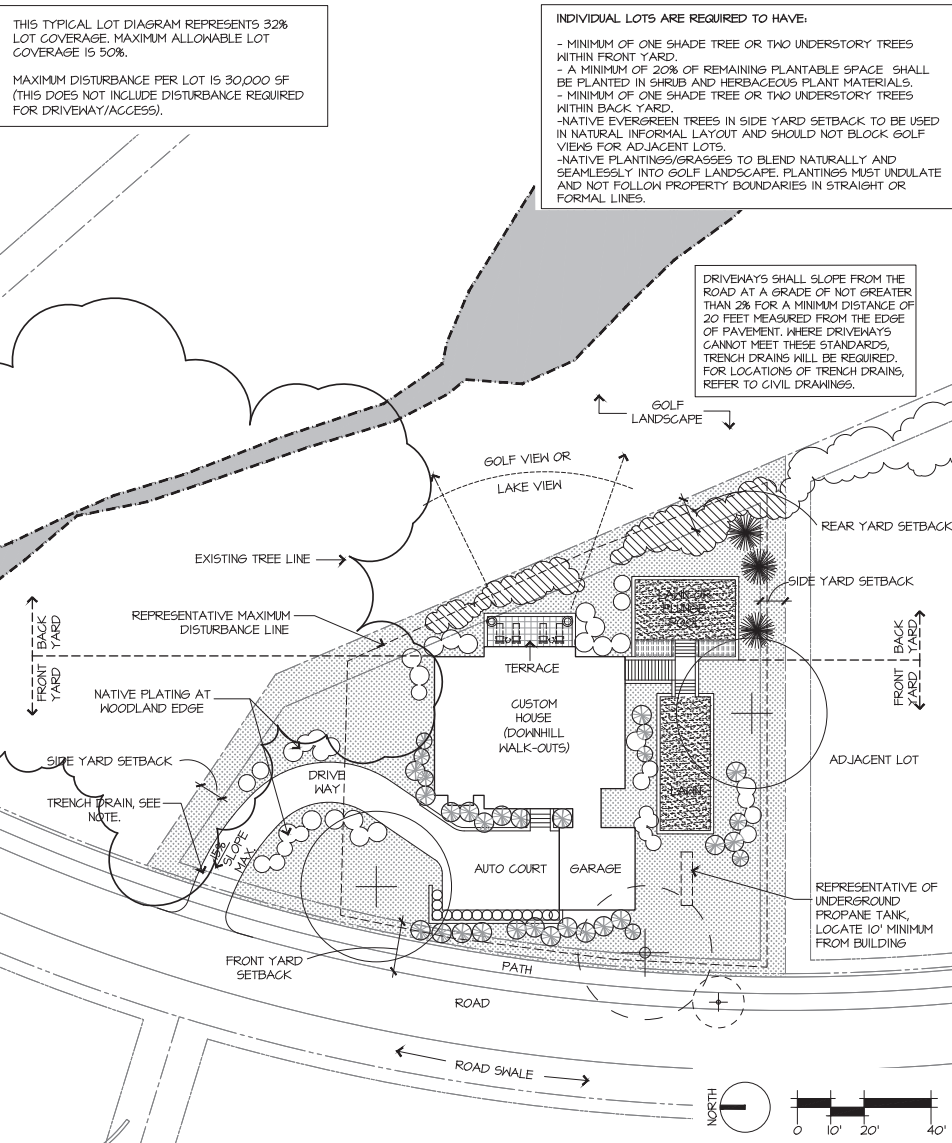
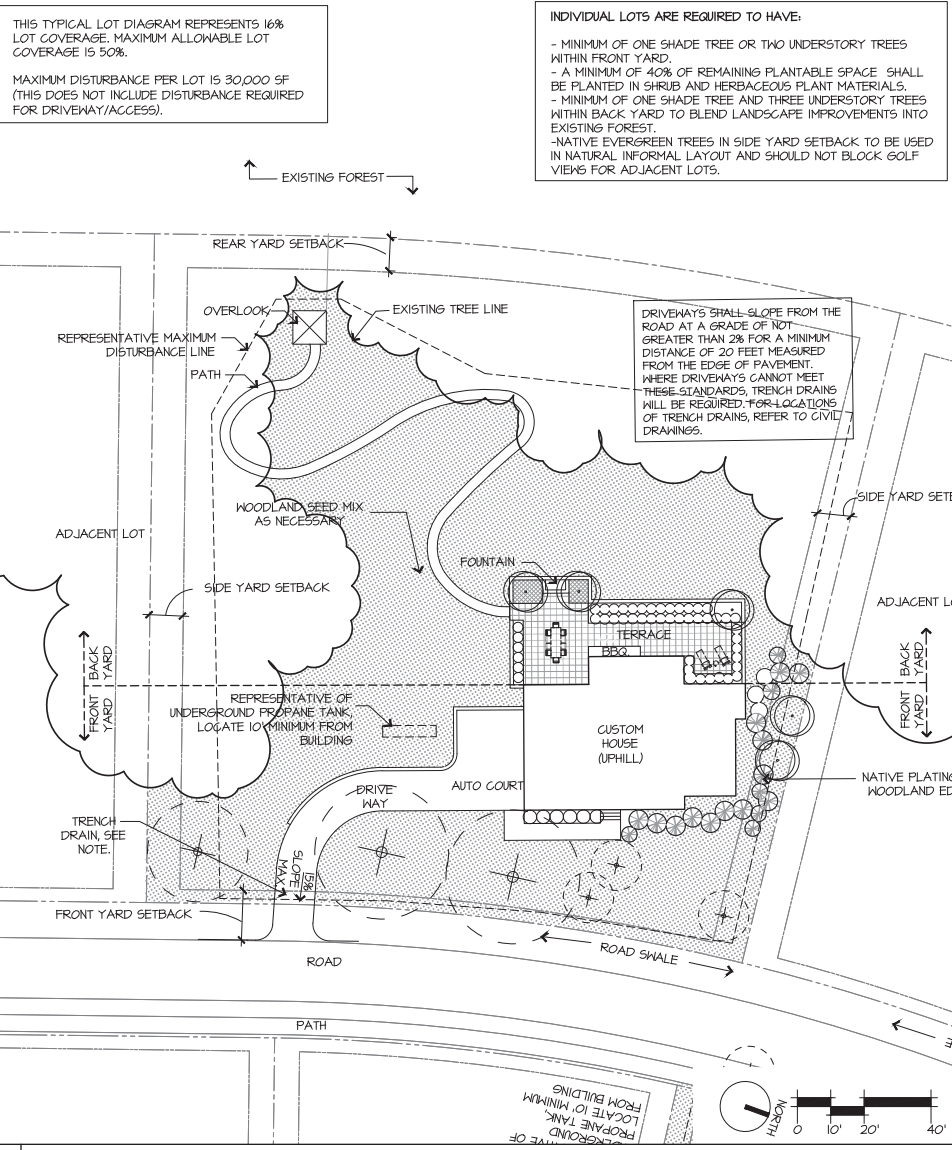
- The applicable Building Setbacks in the approved MDP Bulk Design Standards Table have been met. The approved Bulk Design Standards Table is attached.
- The applicable Maximum Lot Coverage in the approved MDP Bulk Design Standards table have been met.
- The site plan approved building envelope has not increased. Typical site plan envelopes are indicated on attached site plan landscape drawings L3.32B and L3.33.
- A tree protection plan and tree removal plan has been provided.
- The Allowable Disturbance Area (ADA) for the lot does not exceed 30,000 square feet (not including disturbance for the driveway).
- An acceptable grading and erosion control plan has been provided.
- A “Natural Area” outside the ADA is indicated on the plans and is consistent with site plan approval.
- Driveway grade does not exceed the 15% site plan approved grade.
- If driveway does not slope down from road for 20’ a trench drain or equal shall be provided at the bottom of the driveway.
- Building height as defined in Amenia Zoning Code does not exceed 35’.
- Schematic (at a minimum) building elevations for the home have been provided and have been approved in writing by the Silo Ridge Design Review Committee (DRC). Definition of the DRC is provided herein.
- The home includes a minimum 2 car garage and 2 additional parking spaces in the driveway.
- The landscape plan does not include any landscape material from the approved invasive species list for the Silo Ridge Resort Community. The invasive species list is attached.

Definitions:

Design Review Committee: The Design Review Committee (DRC) will consist of a minimum of three and a maximum of five members. A majority of the DRC members are required to be licensed design professionals in the fields of architecture, landscape architecture or engineering. Members of the DRC are appointed by the board or the Declarant and need not be members of the Silo Ridge Master Homeowner's Association. It will be the duty of the DRC to consider and act upon Estate Home Site plans from time to time submitted to it.

Silo Ridge Resort Community MDP Bulk Design Standards

| | | | | | Building Setbacks | | | | Landscape Buffers (minimum) | | | | |
|---|-------------------------|-----------------------|------------------------|-----------------------------------|-------------------------|-----------------------------------|----------------------------|---|-----------------------------------|--|--|---|-------------------|
| Permitted Use | Maximum Permitted Units | Minimum Lot Area (SF) | Minimum Lot Width (ft) | Maximum Lot Coverage (%) (Note F) | Front (ft) (Notes A, B) | Rear Standard/Alley (ft) (Note C) | Side/Combined (ft) Note D) | Minimum Distance to Centerline Fairway (ft) | Interior SRRC Roads (ft) (Note H) | Exterior (RT 44, RT 22, Cascade Amenia Road) (ft) (Note H) | Current Provided Parking (See p.68 in MDP) | Maximum Building Height (ft): Mid-Point Highest Gable | Bedrooms (Note J) |
| Lodge | 21 | NA | NA | NA | NA | NA | NA | NA | NA | 100 | 24 | 48 | 61 |
| Clubhouse/Lodge | NA | NA | NA | NA | 8 | 0 | 0 | NA | 5 | 100 | 4 | 35 | NA |
| Fitness | NA | NA | NA | NA | 0 | 0 | 0 | NA | 5 | 100 | 4 | 35 | NA |
| Sales Center | NA | NA | NA | NA | 10 | 20 | 40 | NA | 5 | 100 | 23 | 35 | NA |
| Activity Barn | NA | NA | NA | NA | 10 | 20 | 20 | NA | 5 | 100 | 77 | 35 | NA |
| Winery Restaurant (E) | NA | NA | NA | NA | 140 | 245 | 538 | NA | 5 | 100 | 34 | 28 | NA |
| Gatehouse | NA | NA | NA | NA | 8 | 20 | 0 | NA | 0 | 100 | 0 | 25 | NA |
| Wastewater Treatment Plant | NA | NA | NA | NA | 40 | 10 | 50 | NA | NA | 30 | 3 | 35 | NA |
| Maintenance Facility | NA | NA | NA | NA | | | | NA | | | 62 | 35 | NA |
| Parking Area at Village Green | NA | NA | NA | NA | NA | NA | NA | NA | NA | NA | 26 | NA | NA |
| | | | | | | | | | | | | | |
| Residential | | | | | | | | | | | | | |
| | | | | | | | | | | | | | |
| Single Family (Fee Simple) Category 1: < 0.5 ac | 86 | 9,700 | 80 | 70% | 15 | 10 | 15 | 80 (G) | 6 | 100 | 172 | 35 | 947 |
| Single Family (Fee Simple) Category 2: ≥0.5 ac | 54 | 21,780 | 80 | 50% | 15 | 10 | 20 | 80 (G) | 6 | 100 | 108 | 35 | |
| Village Green Condominiums | 52 | NA | NA | NA | 15 | 10 | 15 | 150 | 10 | 100 | 83 | 48 | |
| Town Homes | 13 | 3,900 | NA | NA | 10 | 10 | NA | NA | 10 | 100 | 25 | 35 | |
| Vineyard Cottages | 19 | NA | NA | NA | 15 | 10 | 6(D) | NA | 5 | 30 | 38 | 28 | |
| | | | | | | | | | | | | | |
| Total | 245 | | | | | | | | | | 683 | | 1,008 |
| Notes: | | | | | | | | | | | | | |
| A Setbacks do not include porte cochere(s) for any building | | | | | | | | | | | | | |
| B Front setbacks are measured from face of curb/road edge to face of building/porch face not including protruding steps. | | | | | | | | | | | | | |
| C Rear Standard/Alley setbacks are measured from face of building to closest building if applicable or face of curb for road/alley. Rear setbacks do not include patios/retaining walls/steps. Single Family rear setback is property line to structure. | | | | | | | | | | | | | |
| D Side Combined setbacks are measured from face of building to face of next closest building or to face of curb/road edge. Side setbacks do not include patios/retaining walls/steps. For Single Family the dimension is both side yards combined with 15' minimum for each property with the exception of the Vineyard Cottages where the minimum is 6'. WWTP is to property line. | | | | | | | | | | | | | |
| E All winery restaurant setbacks are to Route 44: Front to the west, side to the south, rear to the east. The south measurement is to the furthest point out on the arc of the curve. | | | | | | | | | | | | | |
| F Maximum Lot Coverage is computed as the total amount of impervious surface on the lot divided by the total lot area. Impervious surfaces are as defined in Zoning Law adopted July 2007. | | | | | | | | | | | | | |
| G Single family minimum distance to centerline of fairway generally exceeds 150'. Measured from face of building to centerline of fairway. | | | | | | | | | | | | | |
| H Interior landscape buffers are measured from lot line (property line) to face of building. Exterior landscape buffers are from R.O.W. to face of building. Buffers will be interrupted in certain instances by sidewalks, drives and roads. WWTP exterior buffer is depth of island at access. | | | | | | | | | | | | | |
| J The Single Family bedroom count is not broken down by lot size. | | | | | | | | | | | | | |



| | |
|--|--|
| | EXISTING TREE |
| | PROPOSED SHADE TREE |
| | PROPOSED UNDERSTORY TREE |
| | PROPOSED EVERGREEN TREE |
| | PROPOSED STREET TREE |
| | PROPOSED EVERGREEN SHRUB |
| | PROPOSED DECIDUOUS SHRUB |
| | SEED MIX |
| | GROUND COVER |
| | LAWN |
| | NATIVE PLANTING TRANSITION TO GOLF LANDSCAPE |
| | FORMAL HEDGE |

LOT TYPE LEGEND (BY LANDSCAPE CONDITION)

- 1 VILLAGE LOT (NO WALK-OUT)
- 2 GOLF VILLA UPHILL CORNER LOT
- 3 GOLF VILLA UPHILL MIDDLE LOT
- 4 VILLAGE DOWNHILL LOT
- 5 ESTATE CUSTOM DOWNHILL
- 6 ESTATE CUSTOM UPHILL
- 7 SOUTH LAWN DOWNHILL LOT
- 8 GOLF VILLA DOWNHILL LOT

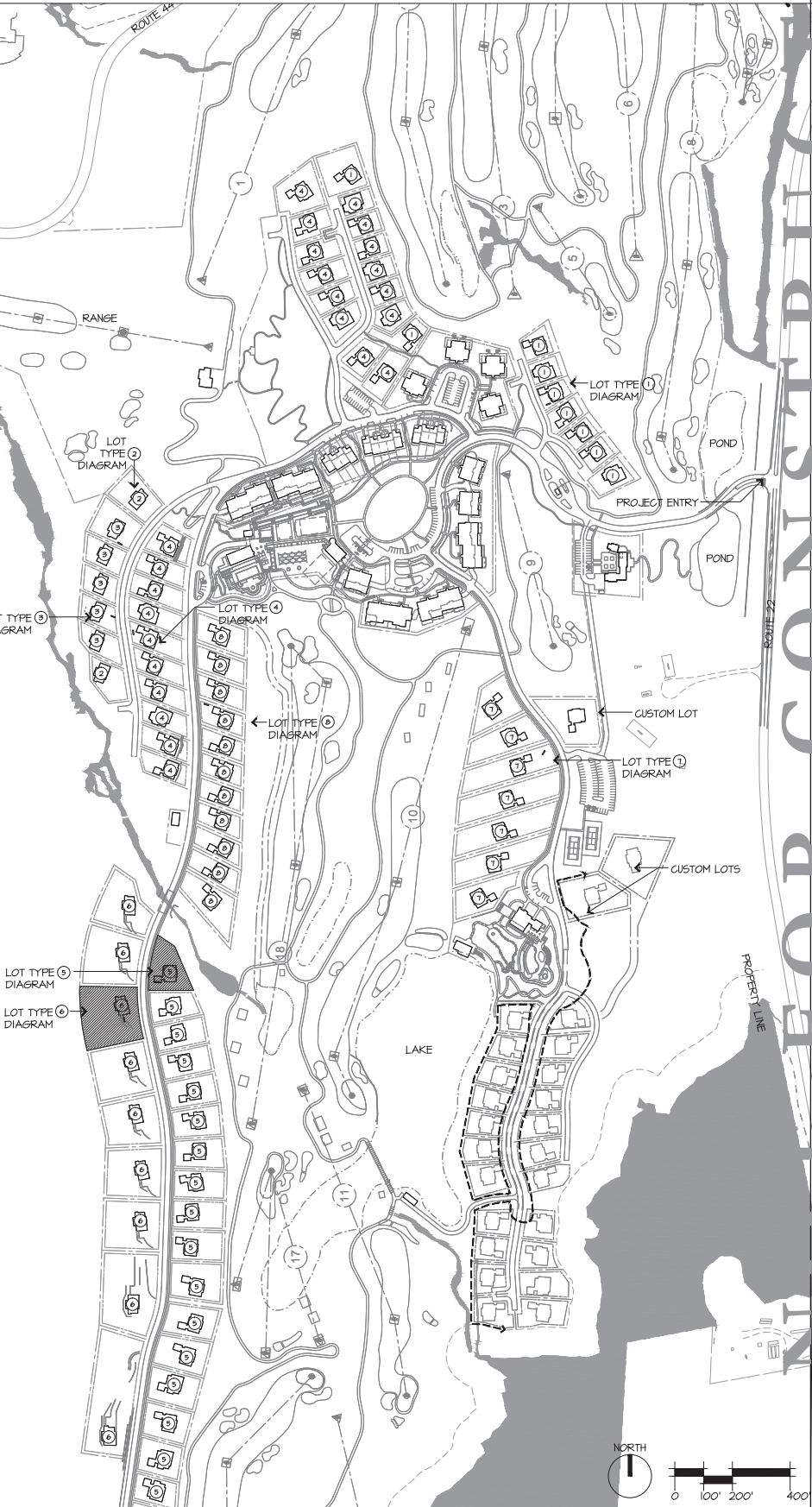
GENERAL NOTES:

1. REFER TO TYPICAL LOT DIAGRAM FOR ZONE DESIGNATIONS.

2. LANDSCAPE AND HARDSCAPE DESIGNS ARE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY.

3. IF TWO OR MORE EXISTING SHADE TREES ARE TO REMAIN WITHIN A ZONE, NO ADDITIONAL PROPOSED SHADE TREES WILL BE REQUIRED.

4. LOTS ADJACENT TO GOLF SHALL USE NATIVE SHRUB MASSING IN LIEU OF FENCE OR PRIVACY WALL AT REAR YARD SETBACK.



HART HOWERTON

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FOR CONSTRUCTION

SILO RIDGE

PHASE 1 SITE PLAN SUBMISSION

Anenias, New York
Dutchess County

SCALE: 1"=200'

NOTE: THIS DRAWING IS 100% FOR THE USE OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER.

DATE: 06/19/2014

ISSUE: 1

19/2014 SITE PLAN REV

REVISIONS

NO. DATE ISSUE

TYPICAL SINGLE FAMILY RESIDENTIAL LOTS

DRAWING NO. L3.32B

PROJECT #: 12-507
DRAWN BY: SL
CHECKED BY: SEB
DRAWING NO. L3.32B

- MINIMUM OF TWO SHADE TREE WITHIN FRONT YARD TO PROTECT RIDGE TOP VIEWS.
- A MINIMUM OF 40% OF REMAINING PLANTABLE SPACE SHALL BE PLANTED IN SHRUB AND HERBACEOUS PLANT MATERIALS.
- MINIMUM OF ONE SHADE TREE AND THREE UNDERSTORY TREES WITHIN BACK YARD TO BLEND LANDSCAPE IMPROVEMENTS INTO EXISTING FOREST.
- NATIVE EVERGREEN TREES IN SIDE YARD SETBACK TO BE USED IN NATURAL INFORMAL LAYOUT AND SHOULD NOT BLOCK GOLF VIEWS FOR ADJACENT LOTS.

DRIVEWAYS SHALL SLOPE FROM THE ROAD AT A GRADE OF NOT GREATER THAN 2% FOR A MINIMUM DISTANCE OF 20 FEET MEASURED FROM THE EDGE OF PAVEMENT. WHERE DRIVEWAYS CANNOT MEET THESE STANDARDS, TRENCH DRAINS WILL BE REQUIRED. FOR LOCATIONS OF TRENCH DRAINS, REFER TO CIVIL DRAWINGS.

ROAD
 FRONT YARD SETBACK
 TRENCH DRAIN, SEE NOTE.
 REPRESENTATIVE MAXIMUM DISTURBANCE LINE
 EXISTING TREE LINE
 SIDE YARD SETBACK
 DRIVEWAY
 AUTO COURT
 HOUSE (UPHILL)
 TERRACE
 SPA
 RETAINING WALL
 ADJACENT LOT
 SIDE YARD SETBACK
 ADJACENT LOT
 REAR YARD SETBACK
 ADJACENT LOT
 BACK YARD SETBACK
 FRONT YARD SETBACK

REPRESENTATIVE OF UNDERGROUND PROPANE TANK, LOCATE 10' MINIMUM FROM BUILDING

0 10' 20' 40'

INDIVIDUAL LOTS ARE REQUIRED TO HAVE:

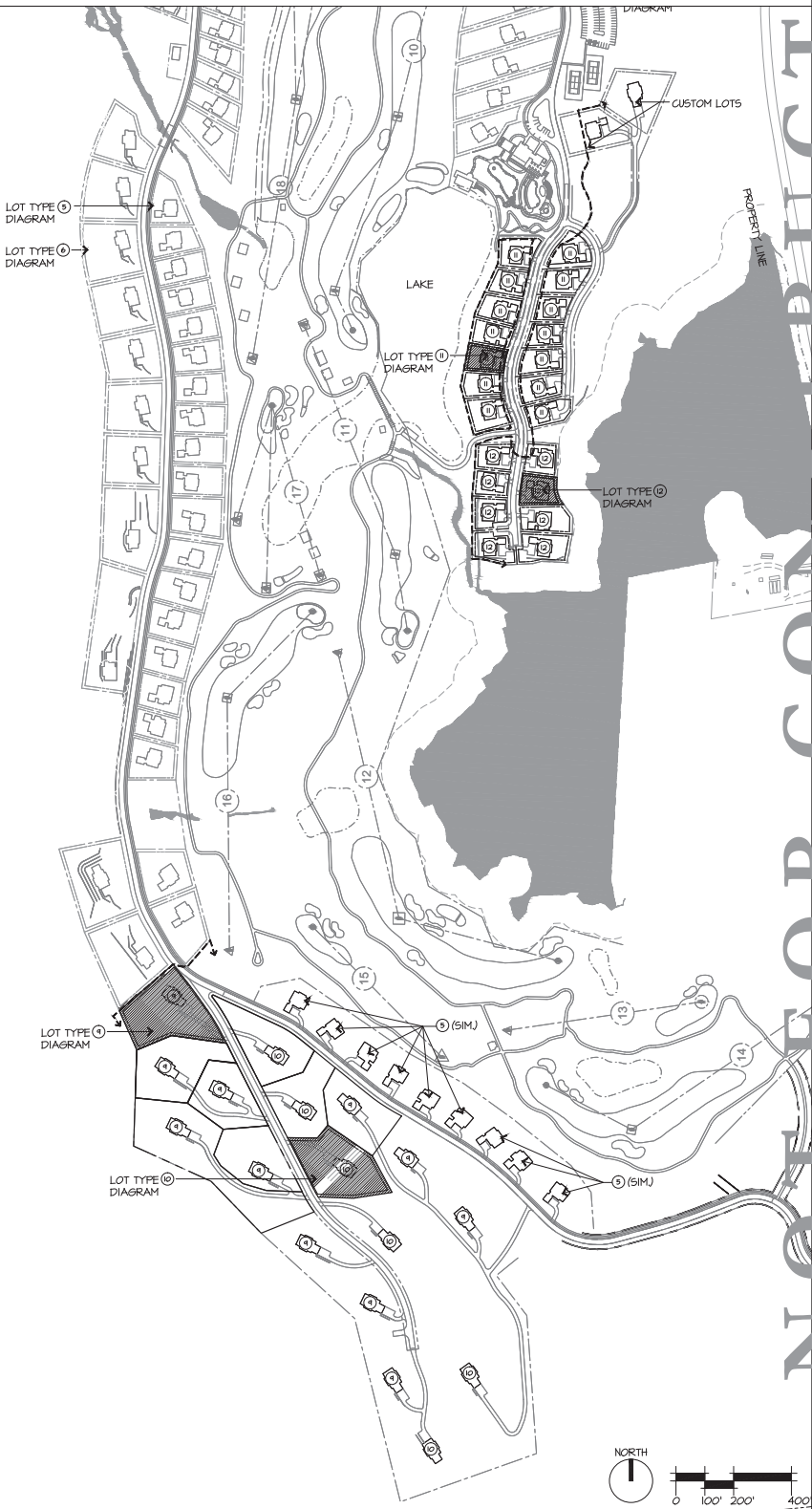
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- NATIVE EVERGREEN TREES IN SIDE YARD SETBACK TO BE USED IN NATURAL INFORMAL LAYOUT AND SHOULD NOT BLOCK GOLF VIEWS FOR ADJACENT LOTS.

The diagram is a detailed site plan for a residential lot. It shows the layout of a house, driveway, and various setbacks. Key features include:

- Setbacks:** REAR YARD SETBACK, SIDE YARD SETBACK, FRONT YARD SETBACK, and ADJACENT LOT setbacks are indicated with dashed lines and arrows.
- Landscaping:** An "EXISTING TREE LINE" is shown with a cloud-like boundary. A "TRENCH DRAIN" is located near the front yard setback.
- Building and Site Features:** The plan includes an "OVERLOOK", "PATH", "RETAINING WALL", "HOUSE (DOWNHILL)", "AUTO COURT", "TERRACE", and "DRIVE WAY".
- Notes and Specifications:**
 - DRIVEWAYS SHALL SLOPE FROM THE ROAD AT A GRADE OF NOT GREATER THAN 2% FOR A MINIMUM DISTANCE OF 20 FEET MEASURED FROM THE EDGE OF PAVEMENT WHERE DRIVEWAYS CANNOT MEET THESE STANDARDS, TRENCH DRAINS WILL BE REQUIRED. FOR LOCATIONS OF TRENCH DRAINS, REFER TO CIVIL DRAWINGS.
 - MAXIMUM DISTURBANCE PER LOT IS 30,000 SF (THIS DOES NOT INCLUDE DISTURBANCE REQUIRED FOR DRIVEWAY/ACCESS).
 - COVERAGE IS 50%.
 - MINIMUM OF ONE SHADE TREE AND THREE UNDERSTORY TREES WITHIN BACK YARD TO BLEND LANDSCAPE IMPROVEMENTS INTO EXISTING FOREST.
 - NATIVE EVERGREEN TREES IN SIDE YARD SETBACK TO BE USED IN NATURAL INFORMAL LAYOUT AND SHOULD NOT BLOCK GOLF VIEWS FOR ADJACENT LOTS.
- Scale and Orientation:** A scale bar at the bottom right shows 0, 10', 20', and 40' feet. A north arrow is also present.

- ① VILLAGE LOT (NO WALK-OUT)
- ② GOLF VILLA UPHILL CORNER LOT
- ③ GOLF VILLA UPHILL MIDDLE LOT
- ④ VILLAGE DOWNHILL LOT
- ⑤ ESTATE CUSTOM DOWNHILL
- ⑥ ESTATE CUSTOM UPHILL
- ⑦ SOUTH LAWN DOWNHILL LOT
- ⑧ GOLF VILLA DOWNHILL LOT
- ⑨ ESTATE PHASE II CUSTOM LOT
- ⑩ ESTATE PHASE II CUSTOM LOT
- ⑪ SOUTH LAWN PHASE II LOT (LAKE SIDE)
- ⑫ SOUTH LAWN PHASE II LOT (FOREST SIDE)

1. REFER TO TYPICAL LOT DIAGRAM FOR ZONE DESIGNATIONS.
2. LANDSCAPE AND HARDSCAPE DESIGNS ARE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY
3. IF TWO OR MORE EXISTING SHADE TREES ARE TO REMAIN WITHIN A ZONE, NO ADDITIONAL PROPOSED SHADE TREES WILL BE REQUIRED.
4. LOTS ADJACENT TO GOLF SHALL USE NATIVE SHRUB MASSING IN LIEU OF FENCE OR PRIVACY WALL AT REAR YARD SETBACK.



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Armenia, New York
Dutchess County

C A L E : V A L U E
NOTE: THIS DRAWING IS 36"x48". DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

05/15/2014 PH. 1 SITE PLAN

[illegible]

| NO. | DATE | ISSUE |
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PROJECT #: 12-507
DRAWN BY: VALUE
CHECKED BY: VALUE

DRAWING NO:
L3.33

Silo Ridge Resort Community Updated Invasive Plants List – Not to be used in landscaping

These species are classified by USDA as a noxious weed, or are recognized by multiple sources (NY Invasive Plants Council, Finger lakes Native Plant Society, Massachusetts Invasive Plant Advisory Group). This list focuses on plants found in horticulture or likely to be available from commercial landscapers.

| | |
|--|------------------------|
| <i>Acer platanoides</i> | Maple, Norway |
| <i>Acer pseudo-platanus</i> | Maple, sycamore (rock) |
| <i>Aegopodium podagraria</i> | Goutweed |
| <i>Ailanthus altissima</i> | Tree of heaven |
| <i>Alnus glutinosa</i> | Alder, european |
| <i>Amelopsis brevipedunculata</i> | Porcelain berry |
| <i>Berberis thunbergii</i> | Barberry, Japanese |
| <i>Berberis vulgaris</i> | Barberry, common |
| <i>Buddleja davidii</i> | Bush, butterfly |
| <i>Celastrus orbiculatus</i> | Bittersweet, oriental |
| <i>Coronilla varia</i> | Crown vetch |
| <i>Crataegus monogyna</i> | Hawthorn, English |
| <i>Cytissus scoparius</i> | Broom, scotch |
| <i>Elaeagnus angustifolia</i> | Olive, Russian |
| <i>Elaeagnus umbellata</i> | Olive, autumn |
| <i>Euonymus alata</i> | Burning bush |
| <i>Humulus japonicas</i> | Hops |
| <i>Iris pseudacorus</i> | Iris, yellow |
| <i>Ligusticum spp.</i> | Privet |
| <i>Lonicera japonica</i> | Honeysuckle, Japanese |
| <i>Lonicera spp.</i> | Honeysuckle, shrub |
| <i>Lysimachia nummularia</i> | Moneywort |
| <i>Lythrum salicaria</i> | Loosestrife, purple |
| <i>Miscanthus sinensis, sacchariflorus</i> | Silvergrass |
| <i>Pawlonia tomentosa</i> | Princess tree |
| <i>Phalaris arundinacea</i> | Grass, canary reed |
| <i>Phellodendron amurense</i> | Tree, cork |
| <i>Phragmites australis</i> | Reed, common |
| <i>Polygonum perfoliatum</i> | Vine, mile-a-minute |
| <i>Populus alba</i> | Poplar, white |
| <i>Puereria lobata</i> | Vine, kudzu |
| <i>Rhamnus catharticus</i> | Buckthorn, common |
| <i>Frangula alnus</i> | Buckthorn, glossy |
| <i>Rhamnus frangula</i> | Buckthorn, glossy |
| <i>Robinia pseudoacacia</i> | Locust, black |
| <i>Rosa multiflora</i> | Rose, Multiflora |
| <i>Rosa rugosa</i> | Rose, rugosa |
| <i>Sorbaria sorbifolia</i> | Spiraea, false |
| <i>Vinca minor</i> | Periwinkle |
| <i>Wisteria sinensis</i> | Wisteria, chinese |